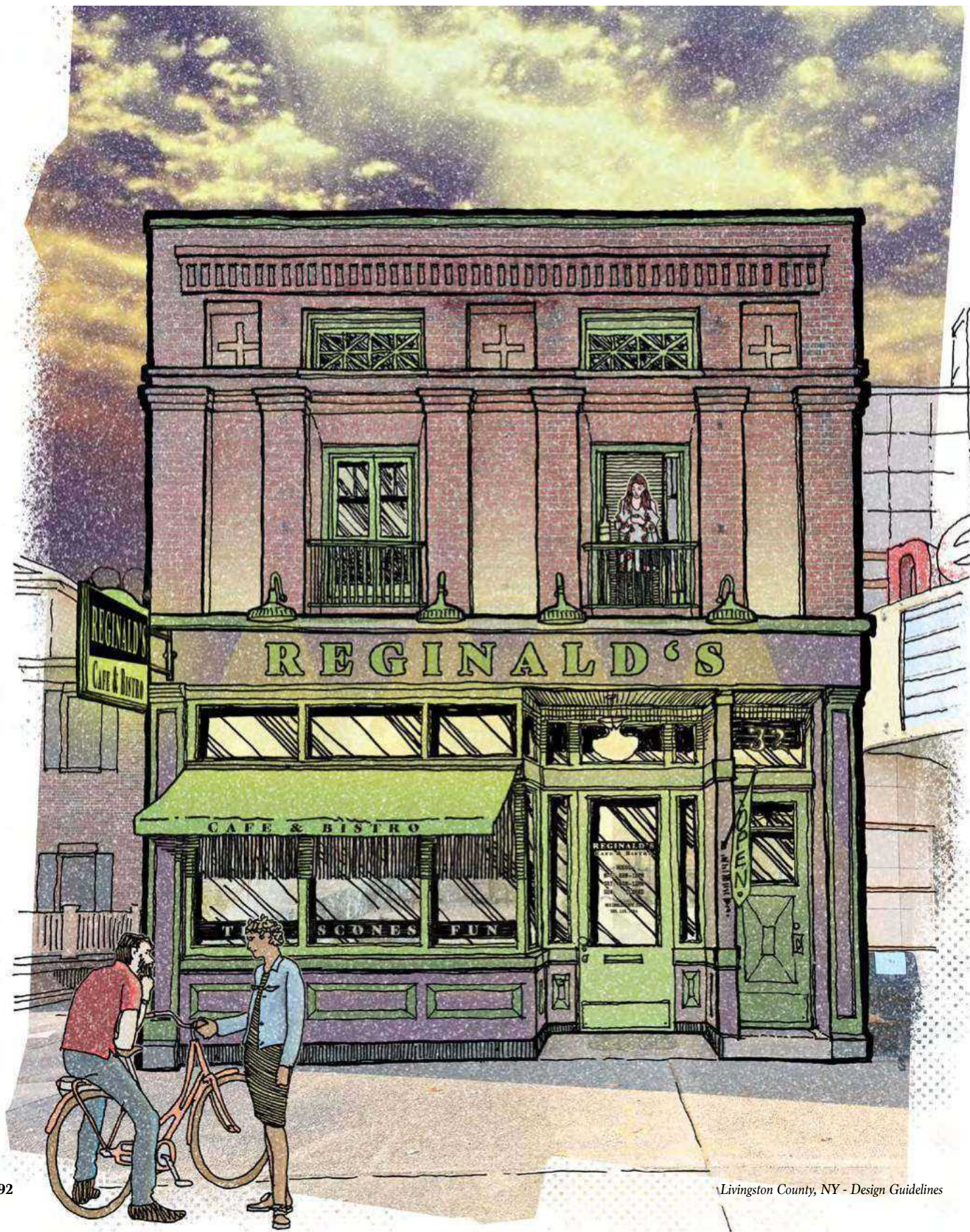


SEC.10 Facade Lookbook

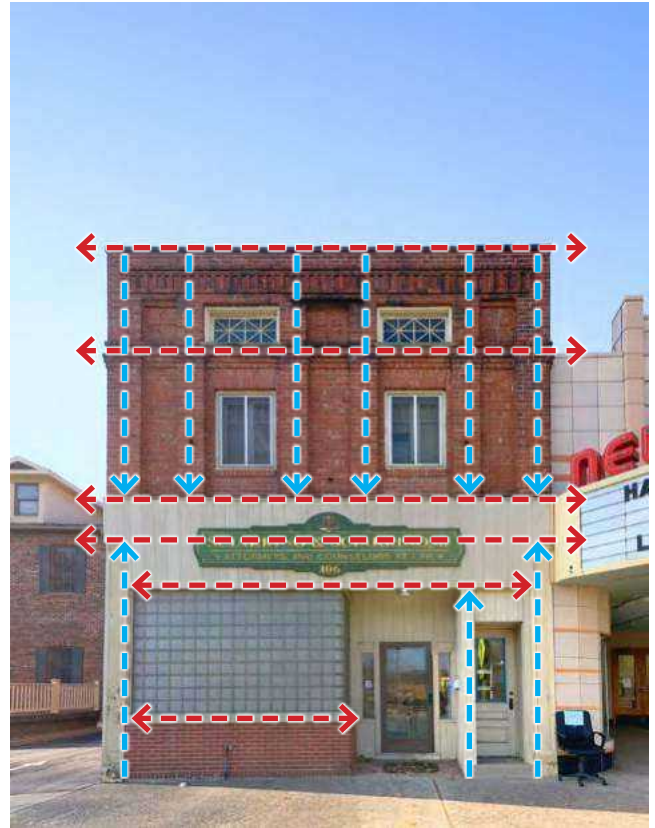


[A] 106 Main Street, Mt. Morris, NY

This historic masonry building at one point had a large second floor balcony, along with a traditional wood storefront with large windows, transoms, and awnings. At some point, this addition was removed and the upper floor doors were replaced with small undersized windows. The current storefront consists of inappropriate vertical wood siding, an opaque glass block wall, and exposed original steel columns.

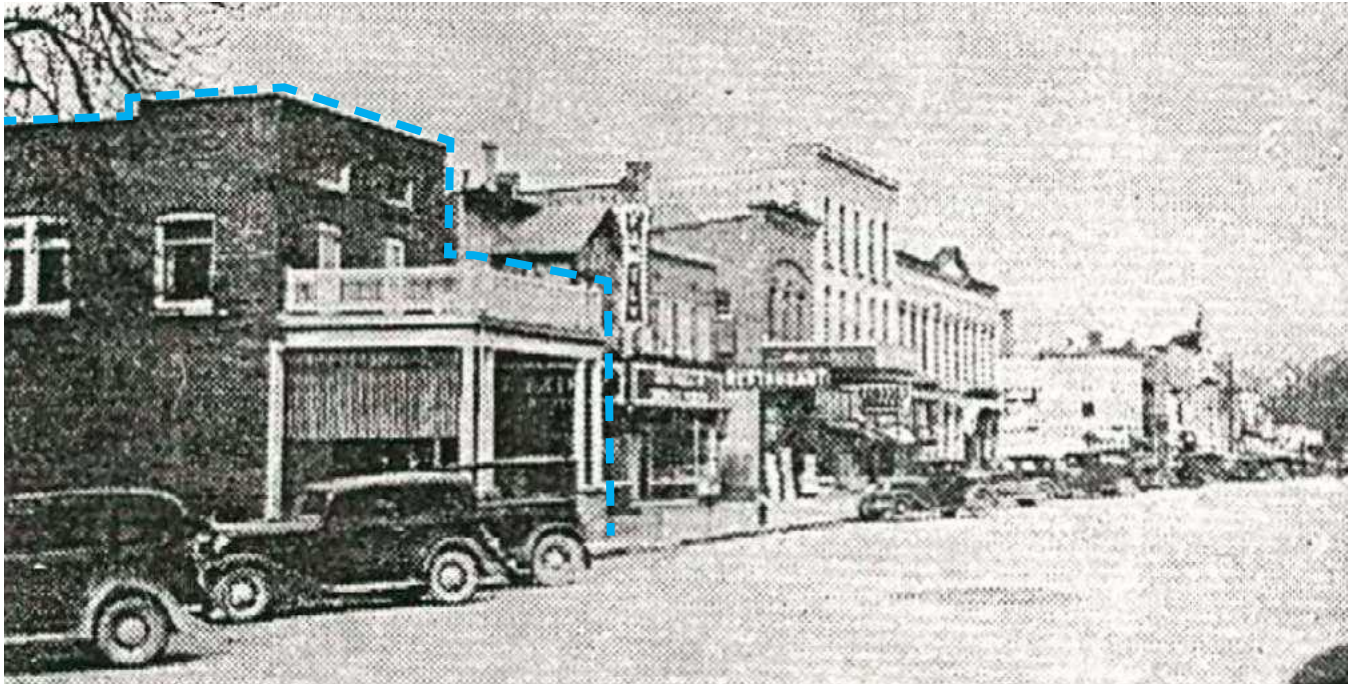
The design intention is to restore some of the same functions present in the original design such as an awning, transparency, and upper Juliette balconies.

**RESTORE THE STOREFRONT TRANSPARENCY
AND UPPER FLOOR BALCONIES, ALONG
WITH UNCOVERING THE ORIGINAL
COLUMNS AND TRANSOM WINDOWS.**



Existing conditions with diagram

Historic Photograph

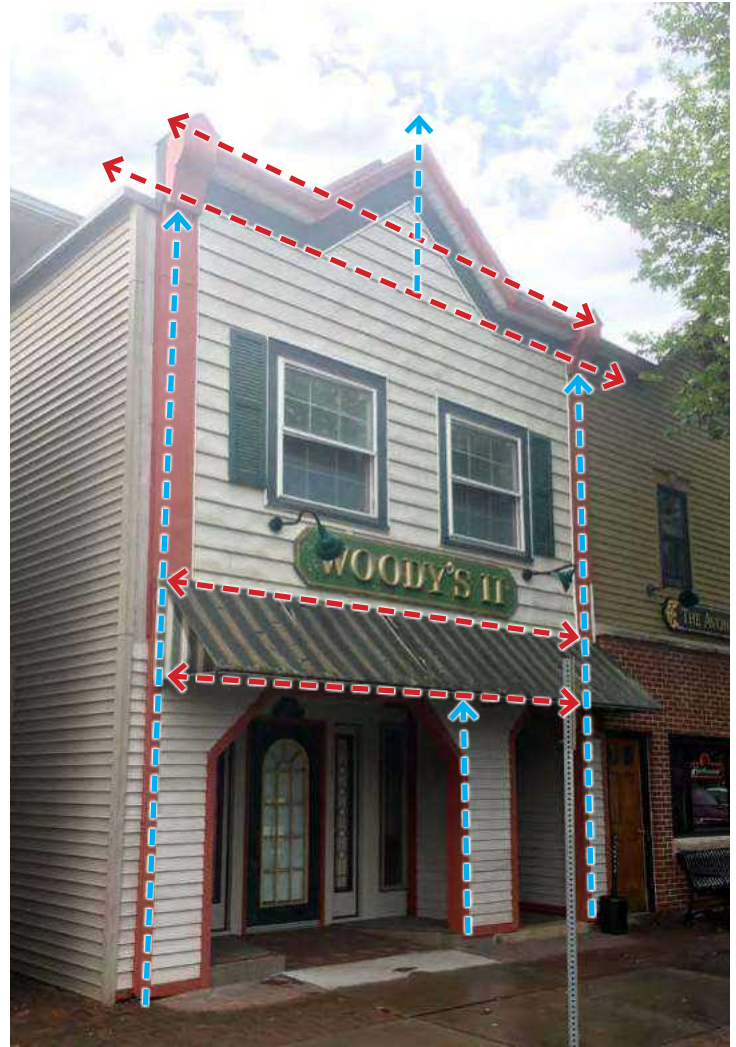


[B] 43 Main Street, Avon, NY

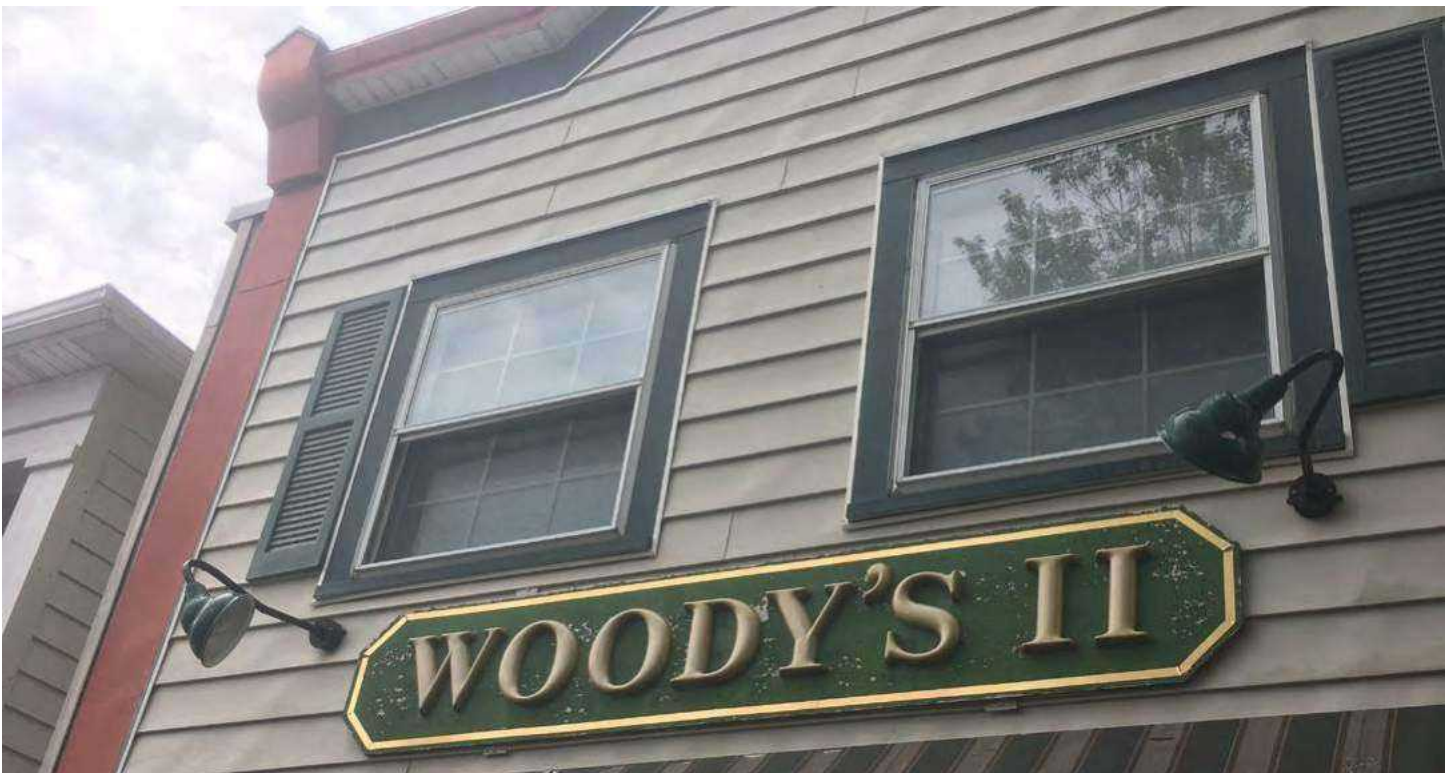
This wood framed 2-story building in the heart of downtown Avon needs some minor facade improvements to develop a more open, transparent, welcoming storefront. Currently, the vinyl siding and residential doors/windows on the lower floor are inappropriate for commercial use, and the existing awning is faded and worn.

The example recommendation opens up the recessed entry into one large opening with overhead lighting and larger fully transparent windows and doors. A new signboard zone and cornice create depth and highlight the entry. A new paint scheme helps to highlight the new and existing architectural details.

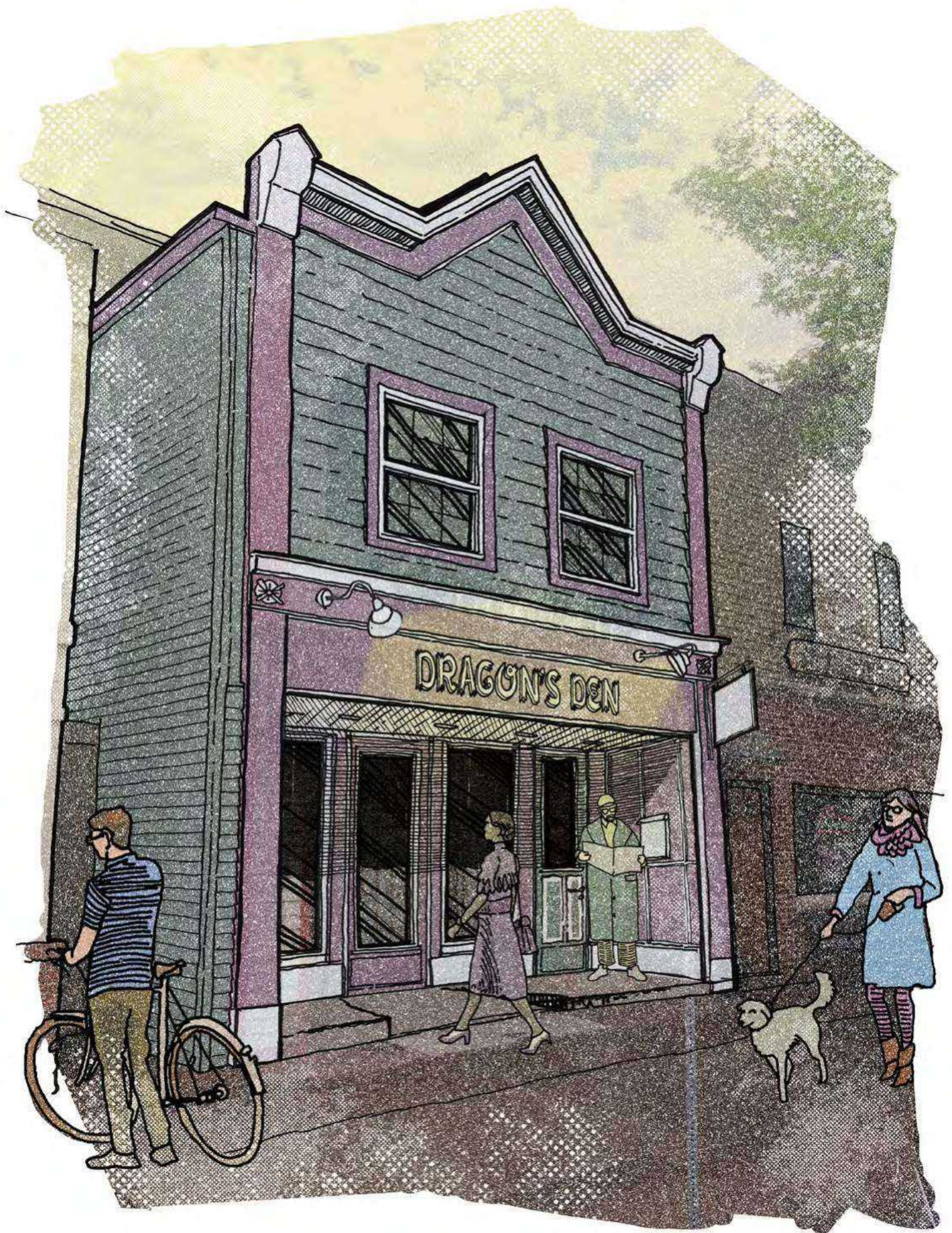
REPLACING INAPPROPRIATE AND WORN OUT MATERIALS, ALONG WITH TRANSPARENCY AT THE STOREFRONT LEVEL TRANSFORM THIS INTO AN INVITING, WELL LIT OPENING.



Existing conditions with diagram



Existing conditions



[C] So Park Place, Aron, NY

Beginning its life as a large 3 story wood framed house with a lovely wrap-around porch, 80 park place bears little resemblance to the structure it started life as. At some point in the late 50s, a one-story masonry addition was developed with a large garage and commercial spaces. To meet egress requirements for having upper floor apartments, an exterior masonry stairway was also developed. The current hodgepodge of spaces and uses is primarily vacant - acting as a storage space for the owner.

The proposed example would use color to contrast the original structure from the subsequent additions, as well as opening up the existing large window openings at ground level for commercial use.



Recolored historic photo



Existing conditions





[D] 1923 Lake Ave, Lima, NY

This nondescript two story mixed-use building offers first floor commercial and upper floor living just a few hundred feet from the historic downtown. While this property does not contribute to the historic fabric of the downtown, some small upgrades could provide more depth, transparency, and opportunities for branding for the first floor tenant.

Here, the fixed shingle awning is replaced by a fabric awning as well as an expanded balcony for the second floor. The loading bay door is replaced with a transparent alternative, and additional windows are added to provide views in and out of the commercial space.



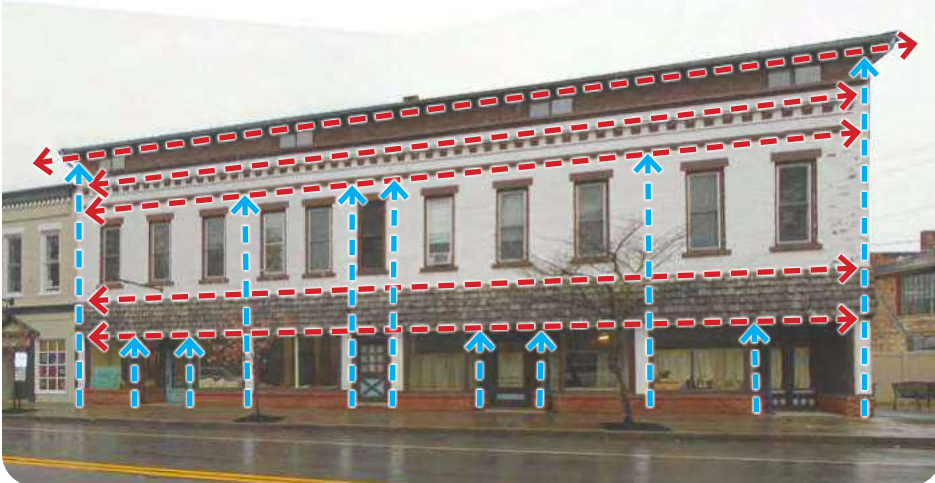
Existing conditions with diagram



BY ADDING SOME ADDITIONAL WINDOWS AND
DETAILING, THE CHARACTER OF THE BUILDING
AND ITS TRANSPARENCY ARE OPTIMIZED.



Existing conditions with diagram





**[E] 1884 Rochester St,
Lima, NY**

**FIND CREATIVE WAYS TO REFERENCE
A BRAND AND ITS COLORS WITH
YOUR BUILDING PAINT SCHEME**

This historic 2 story mixed-use masonry building was at some point renovated to include an additional third floor of apartments, as well as a fixed shingle awning and brick knee wall. The awning currently covers the transom windows, preserving them for restoration later.

The proposed design uncovers the existing transom windows and uses a new color scheme to highlight the architectural details and new tenant branding in the building.

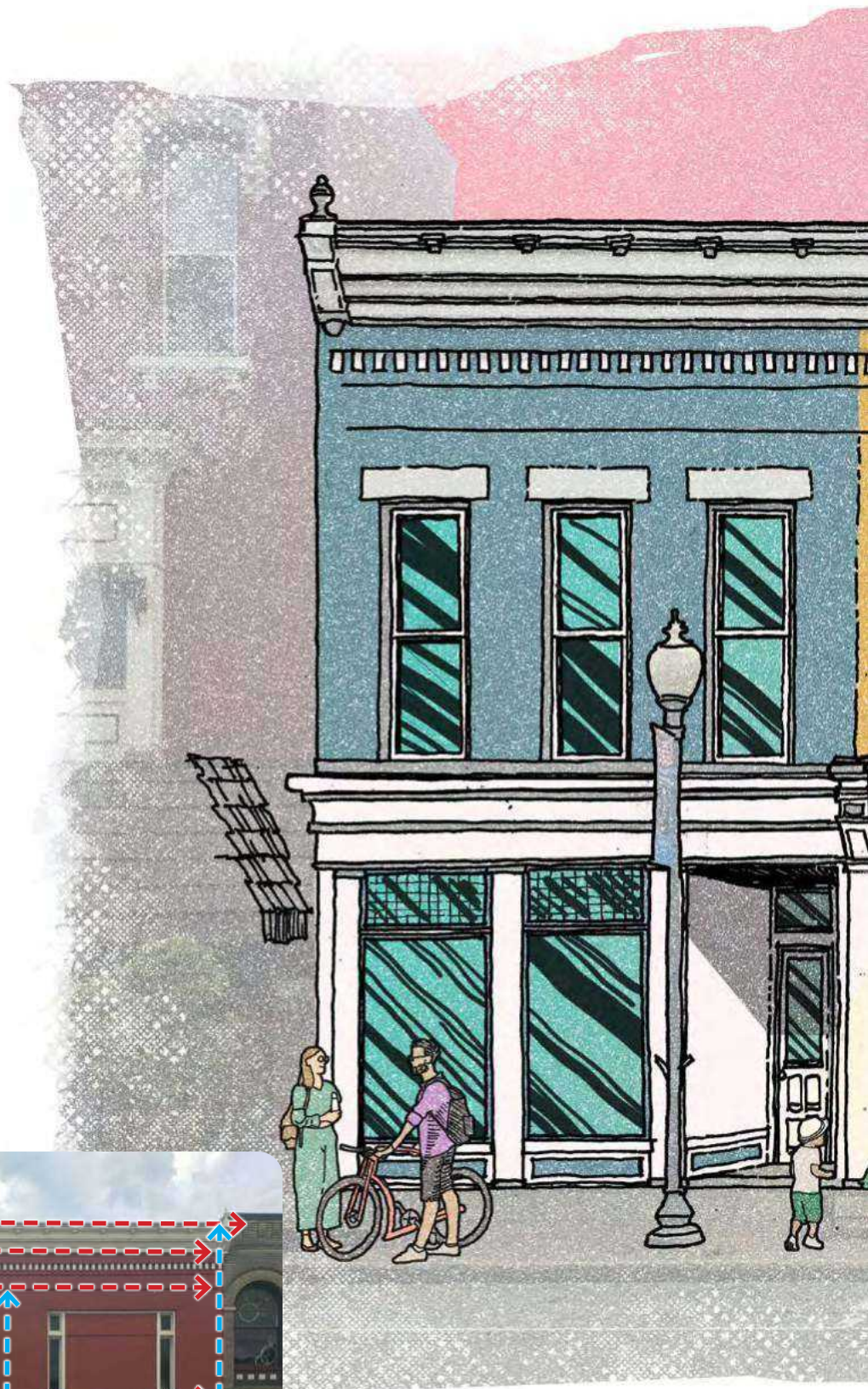
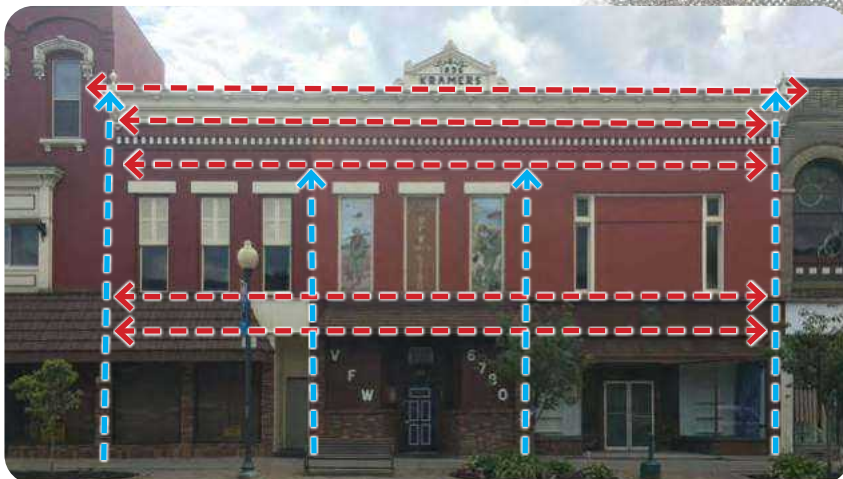
[F] 145 Main St, Dansville, NY

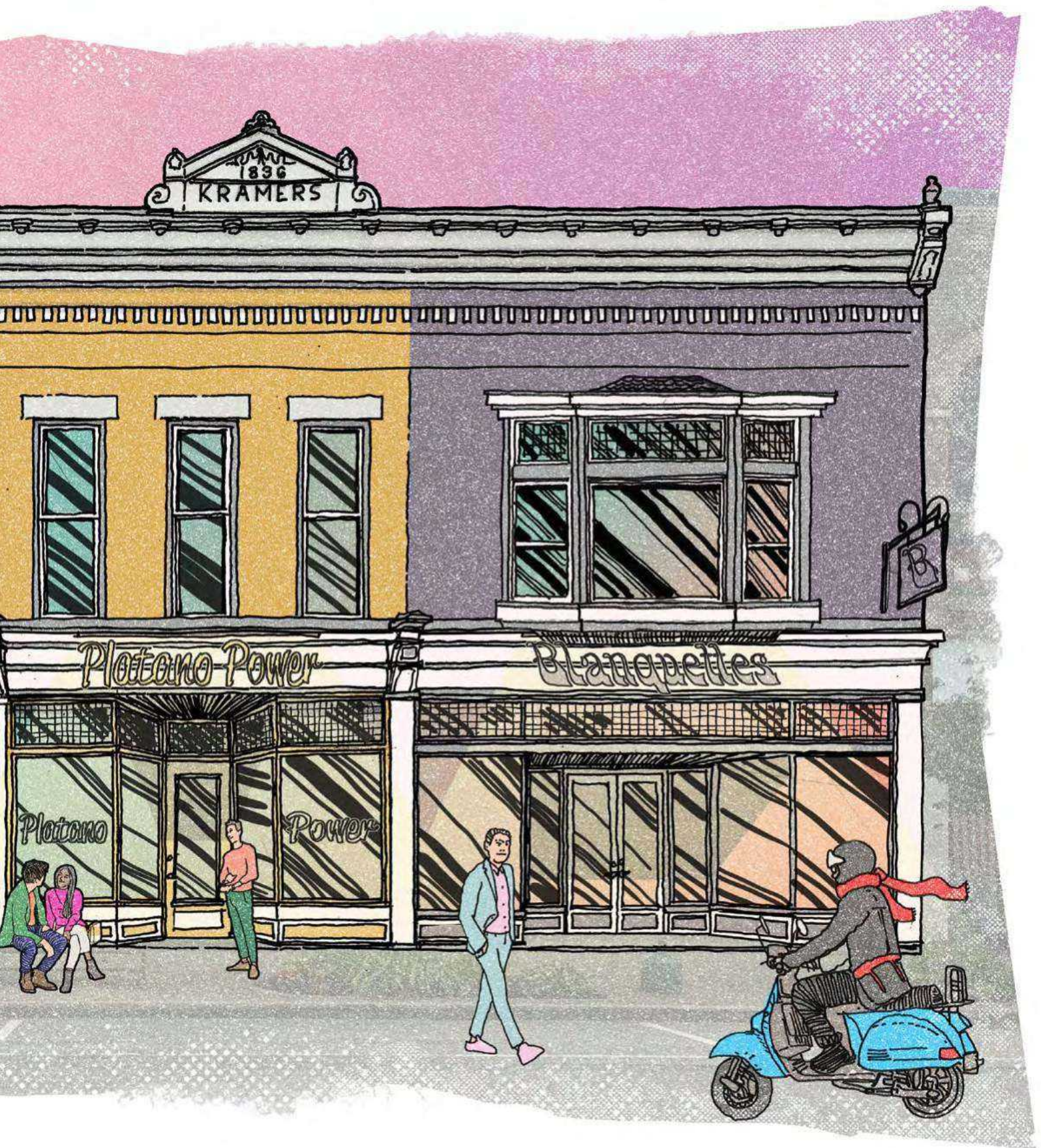
This 2 story masonry building exhibits many of its historical details, such as the cornice and finials. However, the second floor window openings have been covered over or replaced with undersized inappropriate units. One larger window opening was infilled with brick and two elongated and poorly proportioned window units. The storefronts were also renovated, with the ground floor offering almost no transparency into the first floor commercial spaces.

The proposed example looks to highlight the individual storefronts by using an alternating base color with a uniform white and grey trim. The fixed shingle awning is removed, and a more formal cornice is developed as well as new storefronts with transom windows and high levels of transparency into the commercial spaces. Upper floor windows are restored to their original large size, and a bay window added to the second floor.

**USE AN ALTERNATING COLOR
SCHEME WHEN YOU WANT
TO CALL OUT INDIVIDUAL
COMMERCIAL SPACES.**

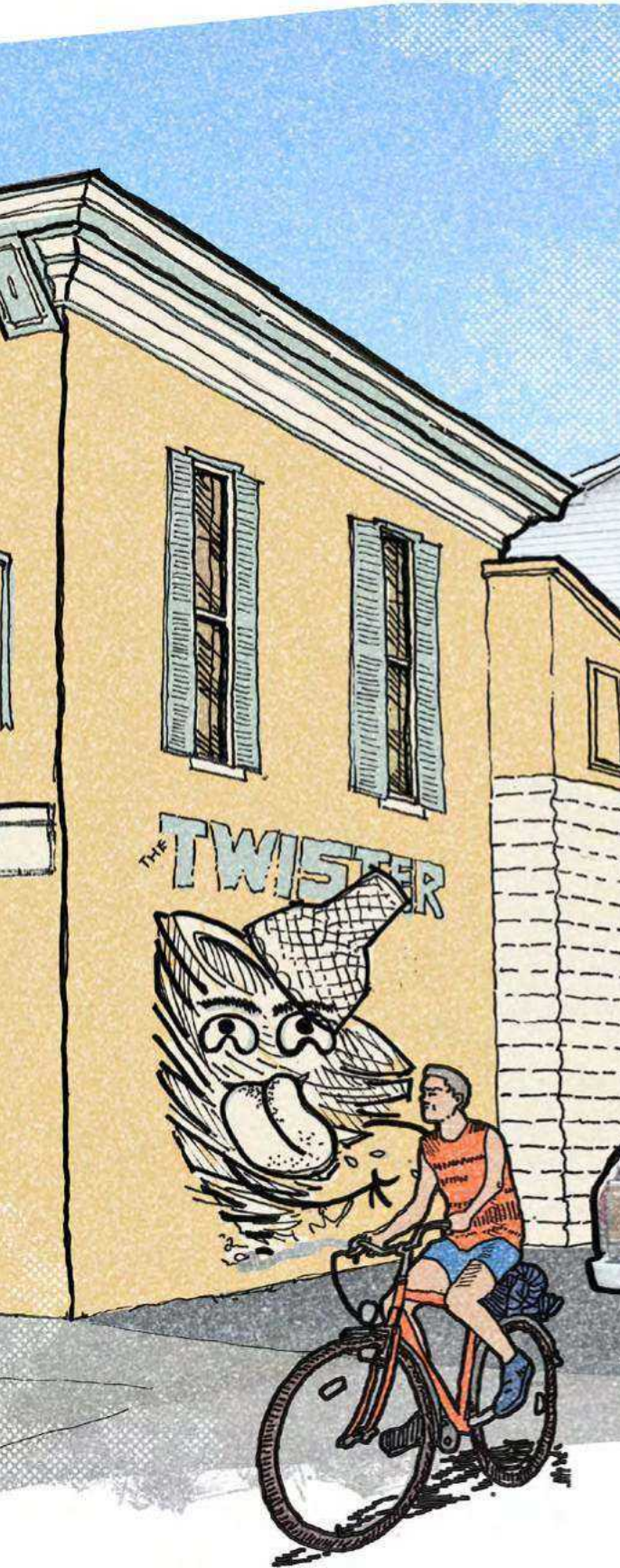
Existing conditions with diagram



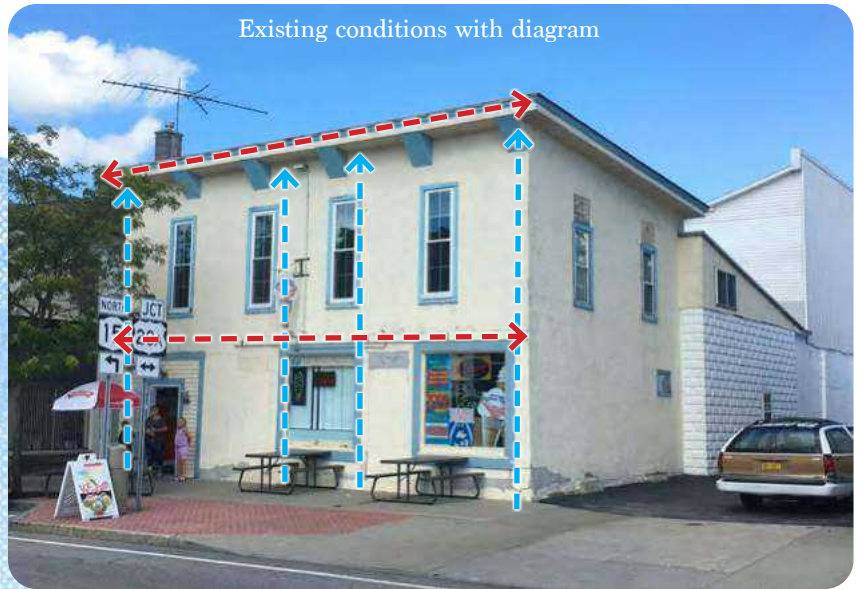


MINOR REPAIRS TO THE EXISTING MATERIALS
AND SMALL ADDITIONS TO EXISTING DETAIL
CAN CREATE A MUCH MORE ENGAGING FACADE.





Existing conditions with diagram



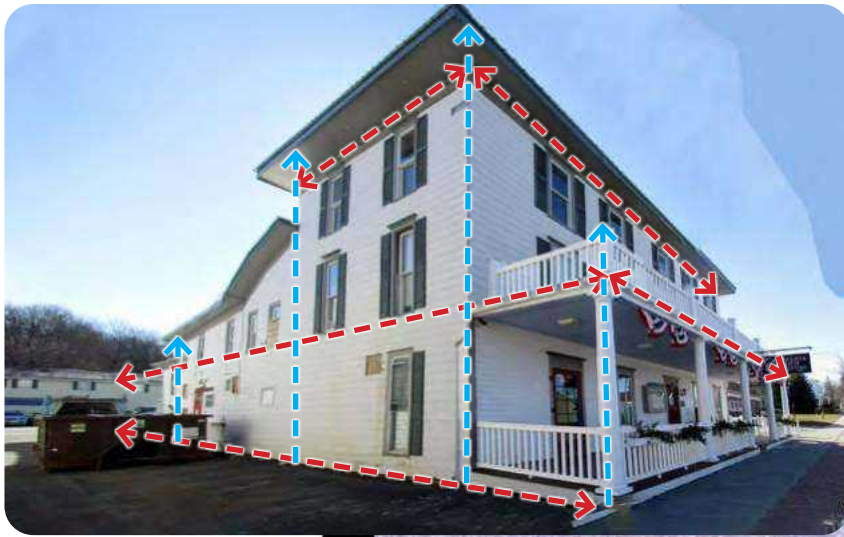
[G] 13 Commercial St, Livonia, NY

This 2 story commercial building has undergone significant addition and renovation work, with the original siding material replaced with a stucco finish that is in need of repair. Both commercial storefront and upper floor windows were replaced with undersized units. The entry opening was replaced with an undersized commercial door and vinyl siding infill.

The proposed design would repair and repaint the damaged stucco finish. Upper floor windows would receive shutters, and the cornice enlarged to provide more depth and detail. The commercial entry would be renovated to provide more transparency and a double-door entry. The blank first floor alley wall would be a prime location for branding - along with perpendicular and window signage.



Existing conditions with diagram



Historic Photograph



[H] 17 Commercial St, Livonia, NY

The historic Livonia Inn is a 3 story mixed-use structure that provides two commercial spaces on the ground floor, and short and long term lodging options on the upper floors. An alleyway provides an oversized pathway for people walking from the municipal parking area towards downtown.

The proposed facade example shows restoring the second floor covered balcony for second floor use, as well as the original brackets at the roofline. New perpendicular signage is provided at ground level, as well as a removal of the residential styled vinyl railing to allow for better circulation into the commercial entries.



PROVIDE OPPORTUNITIES FOR PEDESTRIAN
INTERACTION - LIKE OUTDOOR SEATING AND
UPPER FLOOR BALCONIES!

[I] 24 Commercial St, Livonia, NY

This large complex of wood framed buildings consists of a variety of differently sized barns. Over the years, these barns have been somewhat weatherized and used for light industrial work as well as commercial retail.

The proposed example shows the campus of buildings being used as a farmers market, with a plaza accomodating people in the center and the existing barns acting as market stalls for vendors. The commercial building closest to the road would act as a core for bathrooms and sinks, as well as limited covered vending space.

**FINDING WAYS TO USE UNDERUTILIZED
PROPERTIES IS THE FIRST STEP IN
REVITALIZATION!**

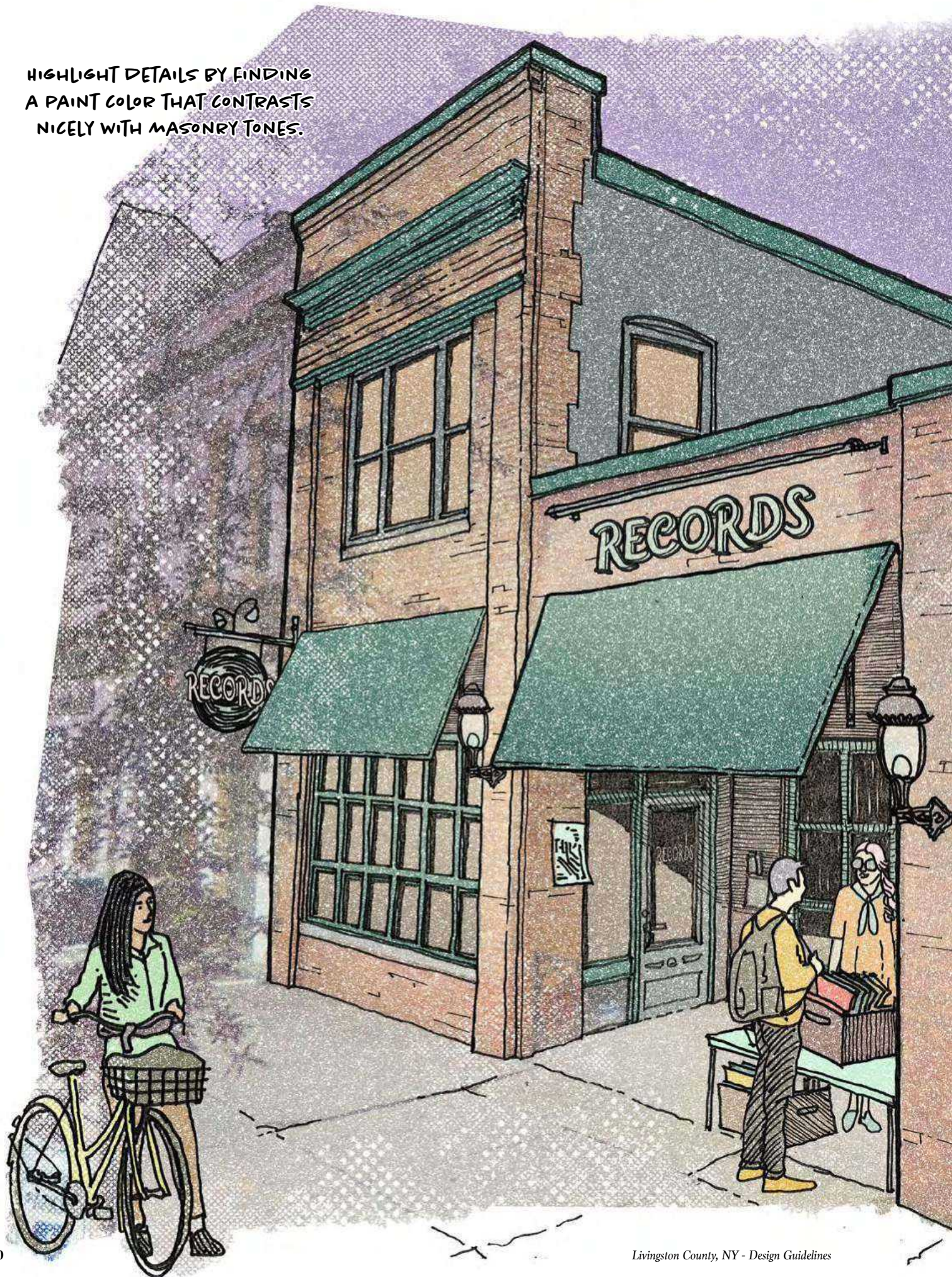


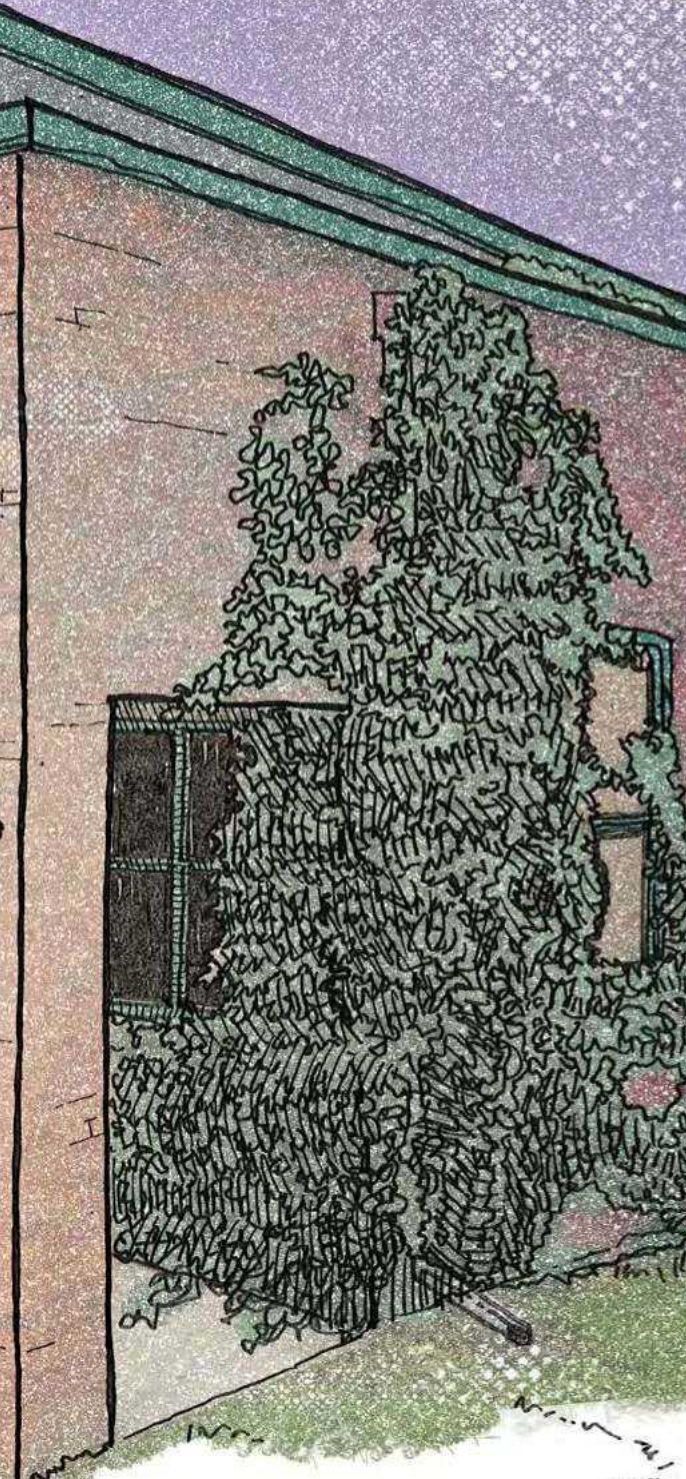


Existing conditions



HIGHLIGHT DETAILS BY FINDING
A PAINT COLOR THAT CONTRASTS
NICELY WITH MASONRY TONES.





[J] 56 Main St, Geneseo, NY

This former RG&E building is a unique example of two buildings that have been combined into a single occupancy, with both first floor spaces being shared by one tenant. The proposed example shows a retail usage down below, with the original details (such as window trim and cornices) painted to call them out. A recessed side entry provides ample space for sidewalk sales and customer engagement.

Awnings and perpendicular signage provide depth and visual interest to passers-by. Wall mounted signage and a linear lighting fixture are also added over the entrance, along with additional lighting.

[K] 3254 State St, Caledonia, NY

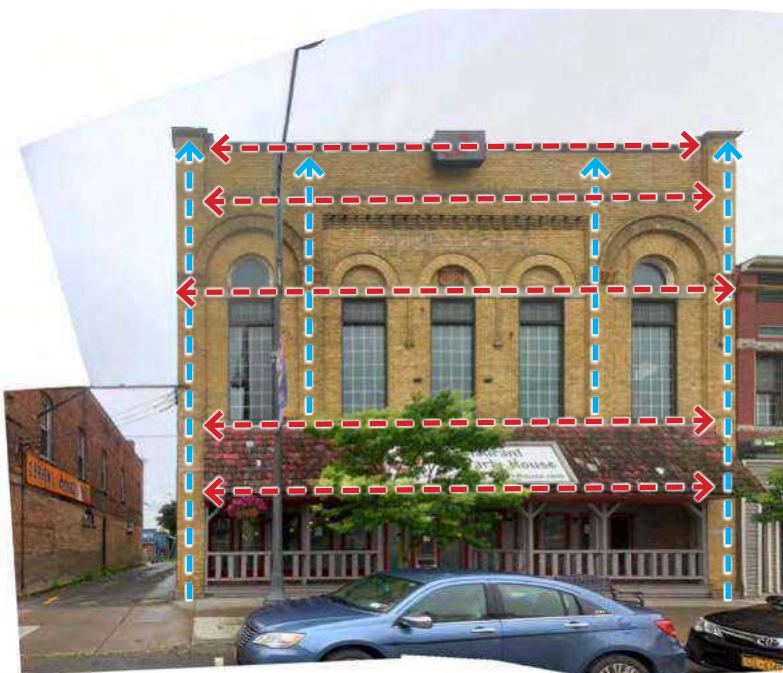
A former meeting hall turned commercial occupancy, the existing 2 story masonry building has undergone significant storefront renovation in the past 30 years. This has resulted in a historically inappropriate appearance - specifically the fixed shingle awning and residential styled porch columns and railing.

The proposed design would uncover existing steel columns, and provide new storefront windows right at the sidewalk, with only the entryway being recessed. A signboard zone would allow ample space for wall signage, and a new cornice allows opportunities for up-lighting of the upper floor.



Historic Photograph

Existing conditions with diagram



RECESSED STOREFRONTS CAN BE A WELCOME
DESIGN FEATURE DURING WINTER, AND
HELP TO HIGHLIGHT AN ENTRY.





PHARMACY

[L] 12 N.Main Street, Nunda, NY

The pharmacy building in Nunda is a 3 story wood frame building that has undergone substantial storefront renovation that has altered or removed some of its architectural characteristics. An inappropriate triangular signboard resulted in the need to fill and cover a second floor window. The result is a flat facade, with inappropriate detailing.

The proposed design adds a cornice above the commercial level, transom windows, and restores the filled in window at the second level. A three color scheme is chosen to better highlight the simple forms used.

**REMOVING NON-HISTORIC BUILDING
DETAILS SUCH AS THIS TRIANGULAR
SIGNBOARD ZONE CAN INSTANTLY GIVE A
FACADE A MORE APPROPRIATE LOOK.**

Existing conditions with diagram

